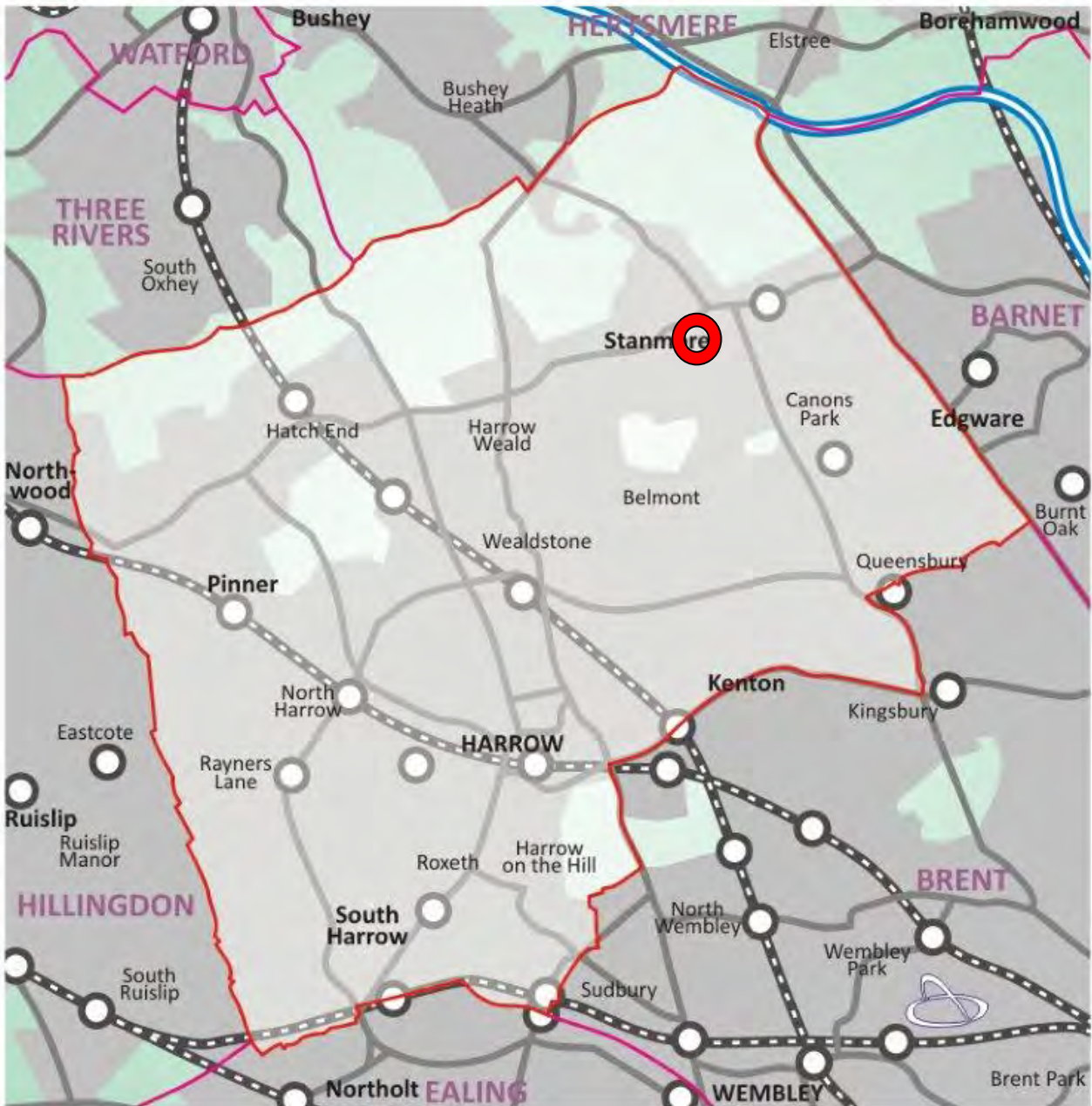
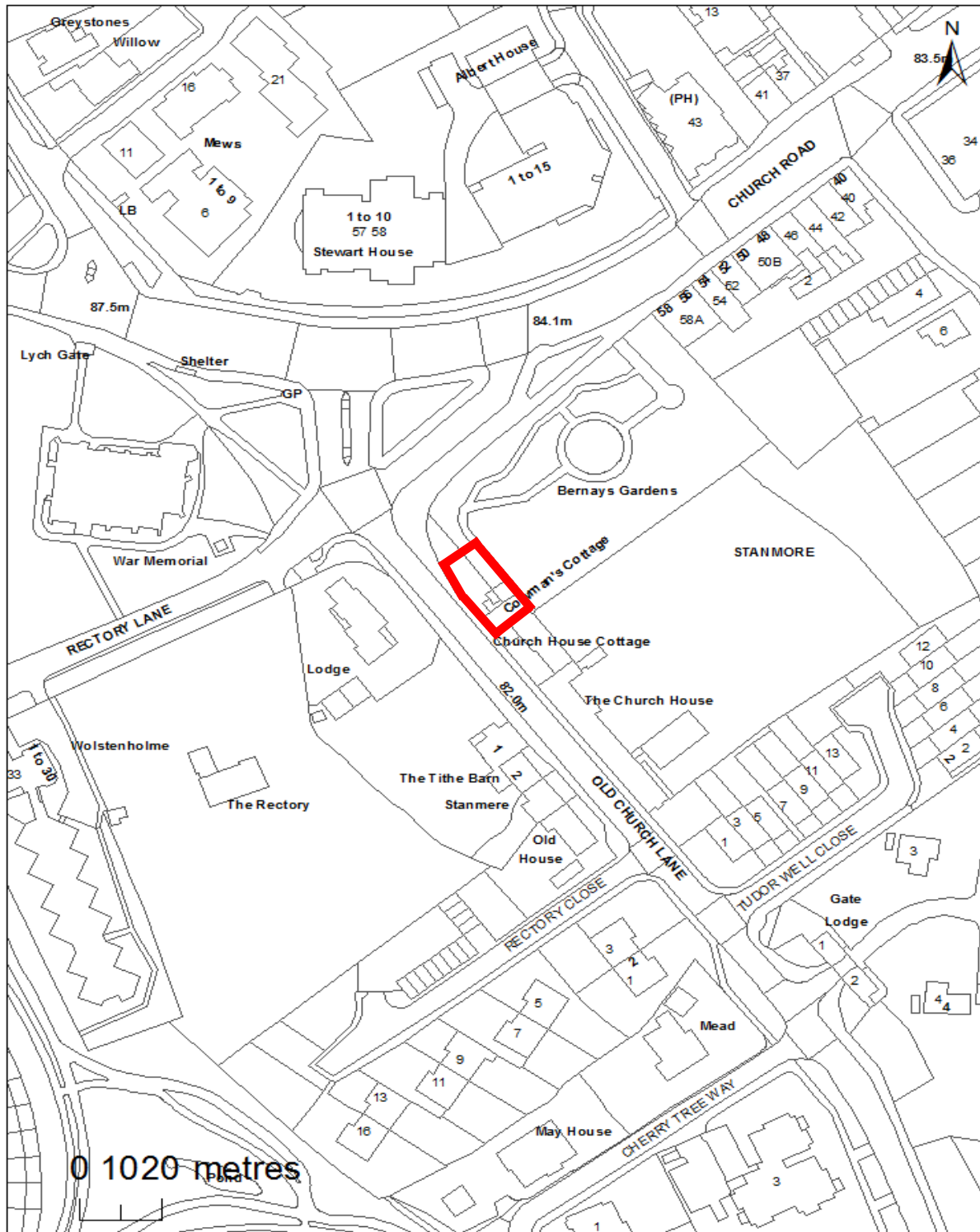


 = application site



Cowman's Cottage, Old Church Lane, Stanmore	P/4779/16
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Cowman's Cottage, Old Church Lane, Stanmore	P/4779/16
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LONDON BOROUGH OF HARROW

PLANNING COMMITTEE

16th November 2016

Application Number: P/4779/16
Validate Date: 17th October 2016
Location: Cowman's Cottage, Old Church Lane, Stanmore
Ward: Stanmore Park
Postcode: HA7 2QX
Applicant: Mrs Omolara Oyesanya
Agent: n/s
Case Officer: Nabeel Kasmani
Expiry Date: 12th December 2016

PURPOSE OF REPORT/PROPOSAL

The purpose of this report is to set out the Officer recommendations to The Planning Committee regarding an application for planning permission relating to the following proposal.

Single storey side extension; replacement windows to side elevation; installation of 1.8M high railings and fence to side and rear boundary; lowering courtyard and new retaining walls; external alterations (demolition of cowshed)

RECOMMENDATION

The Planning Committee is asked to:

- 1) agree the reasons for approval as set out this report; and
- 2) grant planning permission subject to the Conditions listed in Appendix 1 of this report

REASON FOR THE RECOMMENDATIONS

The proposed development would replace the existing dilapidated Cowsheds with a single storey extension that would be sympathetic in form, scale, design, appearance to the existing Cowsheds and would utilise the existing historic materials where possible. Following the previously refused scheme, the proposed detailing of the north-eastern elevation (facing Bernays Gardens) has been amended, omitting the full height glazed windows. In doing so, Officers consider that the single storey extension would preserve the special interest of the setting of the Grade II Listed Cottage and other heritage assets by maintaining the key architectural, evidential, historical, aesthetic and group/communal values. While the replacement building would have a domestic use, Officers consider that this would give the building a purposeful use that would retain its long-term future and the proposed development would also release existing Public Open Space that is not currently accessible. Officers therefore consider that, the public benefits of the scheme outweigh the harm and the proposal would be consistent with the character and appearance of the Conservation Area and would preserve the special interest of the Listed Building and its setting.

The decision to GRANT planning permission has been made having regard to the National Planning Policy Framework (2012), The London Plan (2016), the Harrow Core Strategy (2012), The Harrow Development Management Policies (2013) as well as all relevant material considerations including any responses to consultation.

BACKGROUND

This application was originally reported to the 7th September 2016 Planning Committee Meeting with a recommendation for Grant (subject to conditions). The Planning Committee resolved to defer the decision on this application, in order to request further information and more detailed drawings from the architects, or/and further consideration from Officers. Additional information was subsequently provided by the applicant and the application was again reported to Planning Committee on 28th September 2016. Members were particularly concerned with the design and detailing of the north-eastern elevation and the visual impact of the proposal when viewed from within Bernays Gardens, which led to the application being refused.

Officers consider that the applicant has taken the appropriate steps, following amendments to the north-eastern elevation, to address the core issues raised by Members that led to the previous application being refused. Following a further review of the scheme, officers are satisfied that the proposal presented, subject to conditions, would be fully compliant with the adopted development plan policies and would preserve the special interest of the Listed Building, its setting and the adjoining Heritage Assets. Accordingly this application is being presented again to the Planning Committee with a recommendation for Grant.

INFORMATION

This application is reported to the Committee as the previous application was refused by Members.

Statutory Return Type:	(E)21 Householder Development
Council Interest:	n/a
GLA Community Infrastructure Levy (CIL) Contribution (provisional):	n/a
Local CIL requirement:	n/a

HUMAN RIGHTS ACT

The provisions of the Human Rights Act 1998 have been taken into account in the processing of the application and the preparation of this report.

EQUALITIES

In determining this planning application the Council has regard to its equalities obligations including its obligations under section 149 of the Equality Act 2010.

For the purposes of this application there are no adverse equalities issues.

S17 CRIME & DISORDER ACT

Policies 7.3.B and 7.13.B of The London Plan and policy DM1 of the Development Management Policies Local Plan require all new developments to have regard to safety and the measures to reduce crime in the design of development proposal. It is considered that the development does not adversely affect crime risk.

**LOCAL GOVERNMENT (ACCESS TO INFORMATION) ACT 1985
BACKGROUND PAPERS USED IN PREPARING THIS REPORT:**

- Planning Application
- Statutory Register of Planning Decisions
- Correspondence with Adjoining Occupiers
- Correspondence with Statutory Bodies
- Correspondence with other Council Departments
- Nation Planning Policy Framework
- London Plan
- Local Plan - Core Strategy, Development Management Policies, SPGs
- Other relevant guidance

LIST OF ENCLOSURES / APPENDICES:

Officer Report:

Part 1: Planning Application Fact Sheet

Part 2: Officer Assessment

Appendix 1 – Conditions and Informatives

Appendix 2 – Site Plan

Appendix 3 – Site Photographs

Appendix 4 – Plans and Elevations

OFFICER REPORT

PART 1 : Planning Application Fact Sheet

The Site	
Address	Cowman's Cottage, Old Church Lane, Stanmore
Applicant	Mrs Omolara Oyesanya
Ward	Stanmore Park
Local Plan allocation	n/a
Conservation Area	Yes. Old Church Conservation Area
Listed Building	Yes. The Cowman's Cottage is Grade II Listed
Setting of Listed Building	Yes. In the Setting of a Grade II listed 19 th Century Wall
Building of Local Interest	Yes
Tree Preservation Order	n/a
Other	Part of the application site falls within Designated Open Space as identified within the Harrow Local Plan Policies Map.

PART 2 : Assessment

1.0 SITE DESCRIPTION

- 1.1 The application site comprises the Grade II Listed Cowman's Cottage located at the Junction of Old Church Lane and Church Road and the locally listed Cowshed Building, located within the locally listed Bernays Gardens.
- 1.2 Cowman's Cottage is Grade II listed along with the attached Church House Cottage and Church House. The group was listed on 6th April 1981. Their list description reads: *'C16 and later. Long 1 1/2-storey range. Brick faced. Timber-framing at rear end internally. Tiled roof. Thirteen window length (including 4 moulded wooden renewed transmullioned ones). Irregularly spaced gabled dormers and fine decorative moulded brick chimneys. Reconstructed 1925-30'*
- 1.3 The Cowsheds were locally listed in March 2013. Their local list description reads: *'Attractive building with 5 gable ends in a row on its front elevation. Built circa 1930 under the instruction of Samuel Wallrock as a group along with Cowman's Cottage, the Church House Cottage and The Church House, and the Old Manor House, the Coach house Gatehouse when the nearby 17th Century Old Manor House was demolished. It was probably constructed using some of these materials, as were the adjoining row from Cowman Cottage to the Church House. It was built as a group with these in an attempt to create a of deliberately period, Tudor style buildings. It is particularly strongly connected to Cowman Cottage since it was built to form the adjoining Cow Sheds'.*
- 1.4 The application site is located within the Old Church Conservation Area. The Old Church Lane Conservation Area Appraisal and Management Strategy states the cowshed building has *'five pitched gables to the east elevation [which] form a principal feature of Bernays Gardens. This building has a strong architectural presence, forms part of key views and is a key part of the historical development of the area'.*

- 1.5 Historically, the Cowshed building was used as a park shelter but it is currently derelict, in a very poor condition and on the verge of collapse. It is propped up and protected by safety fencing. Cowman's Cottage and the Cowsheds were sold by the Council as one lot in 2011.
- 1.6 There is a Grade II listed 19th century wall running from the parade of shops that front onto Church Road to the north and west of the gardens round to the west gable of Cowman's Cottage.
- 1.7 Part of the application site falls within designated Open Space (Bernays Gardens) as identified within the Harrow Local Plan Policies Map.

2.0 PROPOSED DETAILS

- 2.1 It is proposed to demolish the existing Cowshed and to construct a new single storey side extension that would be of a similar design and scale as the existing Cowshed. The proposed extension would be the same width as the existing Cowshed (which includes the existing covered walkway) and would have an increased height of 500mm above the existing ridge line.
- 2.2 The scullery would be extended to the north by 1.4m and would match the existing with regards to height, scale and detailing. The existing courtyard would also be lowered in order to provide level access.
- 2.3 The proposed boundary treatments includes 1.8m high railings to the east boundary and 1.8m high timber fencing to the north boundary and east boundary (in front of the car bay). The gate from the existing scullery would also be re-used in the fencing between the car parking bay and the yard.
- 2.4 External alterations include the re-location of the north-lobby windows and door.

3.0 HISTORY

- 3.1 P/5945/15: Single Storey Side Extension; Replacement Windows To Side Elevation; Installation Of 1.8M High Railings To Side And Rear Boundary; Lowering Courtyard And New Retaining Walls; External Alterations (Demolition Of Cowshed)

Refused: 01-04-2016

1. *The proposed demolition of the existing cowsheds and the construction of a single storey side extension would not preserve the special interest of the listed Cowman's Cottage or its settings. In the absence of clear and convincing justification or public benefits to outweigh the harm, the proposal would have detrimental impact on the Heritage assets and the character and appearance of the surrounding area, contrary to the National Planning Policy Framework (2012), Policies 7.4,B, 7.6B, 7.8C/D of the London Plan (2015), Core Policy CS1 B/D of the Harrow Core Strategy (2012) and Policies DM1 and DM7 of the Development Management Local Plan (2013)*

2. *The proposed single storey side extension would fail to contribute positively to the setting and quality of the Designated Open Space and it has*

not been demonstrated that the wider benefits of the proposal would outweigh the loss of Open Space, contrary to Policies DM1, DM7 and DM18 of the Development Management Policies Local Plan (2013)

3. The proposed development, by reason of its proximity to the T1 Copper Beech tree would result in post development pressure that would be harmful to that trees long term health and it has not been demonstrated that the future harm to the tree is outweighed by public benefits of the proposal. The proposal would therefore fail to comply with Policy 7.21 of the London Plan (2015) and Policy DM22 of the Development Management Policies Local Plan (2013)

4. Insufficient information has been provided to demonstrate that the proposed development could be constructed without requiring access from Bernays Gardens. The proposal would therefore have an adverse impact upon the functionality and usability of the designated open space during construction and would harm the trees and landscaping within the garden, to the detriment of the amenities of the users of the garden and the character and appearance of the area, contrary to Policies 7.4, 7.6, 7.8 and 7.21 of the London Plan (2015), Core Policy CS1B of the Harrow Core Strategy (2012) and Policies DM1, DM7 and DM 22 of the Development Management Policies Local Plan (2013).

3.2 P/2866/15: Single Storey Side Extension; Replacement Windows To Side Elevation; Installation Of 1.8M High Railings To Side And Rear Boundary; Lowering Courtyard And New Retaining Walls; External Alterations (Demolition Of Cowshed)

Refused: 30-09-2016

1. The proposed demolition of the existing cowsheds and the construction of a single storey side extension would not preserve the special interest of the listed Cowman's Cottage or its settings. In the absence of clear and convincing justification or public benefits to outweigh the harm, the proposal would have detrimental impact on the Heritage assets and the character and appearance of the surrounding area, contrary to the National Planning Policy Framework (2012), Policies 7.4,B, 7.6B, 7.8C/D of the London Plan (2015), Core Policy CS1 B/D of the Harrow Core Strategy (2012) and Policies DM1 and DM7 of the Development Management Local Plan (2013)

2. The proposed single storey side extension would fail to contribute positively to the setting and quality of the Designated Open Space and it has not been demonstrated that the wider benefits of the proposal would outweigh the loss of Open Space, contrary to Policies DM1, DM7 and DM18 of the Development Management Policies Local Plan (2013)

3.3 P/3122/16 Listed Building Consent Internal and external alterations including: removal of existing cowsheds and replacement single storey side extension including an increase in height; extension and alteration to the scullery to become the link; alteration to north lobby of the cottage to remove windows and door to be set aside for reuse and removal of brick and plaster infill; installation of 1.8m high railings and fence to side and rear boundary; lowering courtyard and new retaining walls; repairs to the existing garden wall

Refused: 30/09/2016

1. The proposed demolition of the existing cowsheds and the construction of a single storey side extension would not preserve the special interest of the listed Cowman's Cottage or its settings. In the absence of clear and convincing justification or public benefits to outweigh the harm, the

proposal would have detrimental impact on the Heritage assets and the character and appearance of the surrounding area, contrary to the National Planning Policy Framework (2012), Policies 7.4,B, 7.6B, 7.8C/D of the London Plan (2016), Core Policy CS1 B/D of the Harrow Core Strategy (2012) and Policies DM1 and DM7 of the Development Management Local Plan (2013);

2. *The proposed single storey side extension would fail to contribute positively to the setting and quality of the Designated Open Space, contrary to Policies DM1, DM7 and DM18 of the Development Management Policies Local Plan (2013).*

3.4 P/4793/16: Listed Building Consent Internal and external alterations including: removal of existing cowsheds and replacement single storey side extension including an increase in height; extension and alteration to the scullery to become the link; alteration to north lobby of the cottage to remove windows and door to be set aside for reuse and removal of brick and plaster infill; installation of 1.8m high railings and fence to side and rear boundary; lowering courtyard and new retaining walls; repairs to the existing garden wall
Expires: 02-12-2016

4.0 CONSULTATION

4.1 The Site Notice was erected on 19th October 2016, which expires on 9th November 2016.

4.2 The Press Notice was advertised in the Harrow Times on 20th October 2016, which expires on 10th November 2016.

4.3 The application was advertised as affecting the setting of a Listed Building and Character of a Conservation Area

4.4 A total of 36 consultation letters were sent regarding this application. The public consultation period expires on 8th November 2016.

4.5 Adjoining Properties

Number of Letters Sent	36
Number of Responses Received	1
Number in Support	0
Number of Objections	1
Number of other Representations (neither objecting or supporting)	n/a

4.6 1 Objections has been received from neighbouring residents.
0 Objections have been received from Residents Associations

4.7 A summary of the responses received along with the Officer comments are set out below:

Details of Representation and date received	Summary of Comments	Officer Comments
Mr Emlyn Singleton	- There seems to be little or no change from the previous application that was refused	Amendments have been made to the detailing and appearance of the north-eastern elevation, thereby addressing concerns raised by Members in the previously refused scheme.

4.8 Statutory and Non Statutory Consultation

4.9 The following consultations have been undertaken:

LBH Conservation Officer
 LBH Tree Officer
 LBH Policy Officer
 Historic England – GLASS
 Conservation Area Advisory Committee
 Stanmore Society
 Elm Park Residents Association

4.10 External Consultation

4.11 A summary of the consultation responses received along with the Officer comments are set out in the Table below.

Consultee	Summary of contents	Officer Comments
Historic England GLAAS	No comment to date	If comments are provided, these will be reported to Members in the Addendum.
Conservation Area Advisory Committee (CAAC)	No comment to date	
Stanmore Society	No comment to date	
Elm Park Residents Association	No comment to date	

4.12 Internal Consultation

4.13 A summary of the consultation responses received along with the Officer comments are set out in the Table below.

Consultee	Summary of contents	Officer Comments
LBH Conservation Officer	<p>Subject to the conditions recommended, the proposal would preserve the special character and interest of the heritage assets affected as far as possible:</p> <ol style="list-style-type: none"> 1) There is a need for works since the current cowsheds is an eyesore and in terrible condition beyond economic like for like repair. 2) The replacement would retain the character and appearance of the cowsheds as far as possible in terms of design and reuse of materials but it would allow for economically viable new domestic use, making rebuilding possible. Key views from the park to the 5 gable ends would be retained. This would be ensured partly by the conditions 3) Concerns relating to the impact on the physical and structural integrity of the listed wall have been partly addressed by supporting statements provided. <p>It is recognised that there is harm due to the principle of demolition of the original cowsheds and the change of use to domestic along with the necessary changes to design to accommodate this. The public benefits of bringing this aspect of the building back into a good condition and viable new use, along with reinstating elements of the original character, sufficiently outweigh the harm caused.</p> <p>The east elevation of the proposed replacement to the cowsheds has been amended to include an elevation that more closely replicates the design of the existing façade of solid brick, steel windows and doorsets</p>	These comments have been noted

	<p>(original doorsets reused) that is currently recessed beneath the gable ends with a walkway in front. The walkway is not being included on this proposal since otherwise the rebuilt cowsheds would be too narrow for domestic use. However, an impression and memory of the recess would be created by 200mm by 200mm timber posts placed backing onto the brickwork, to create some shadowing, and spaced to match the existing walkway posts. Therefore this is considered to overcome previous concerns. It complies with paragraph 49 of the Historic England Advice Note 2 which states 'New features added to a building are less likely to have an impact on the significance if they follow the character of the building'.</p>	
LBH Tree Officer	<p>Provided the submitted tree protection measures and method statement are implemented exactly as recommended, and in accordance with the approved plans, the existing retained trees should not be adversely affected by the development. Conditions advised for safeguarding.</p>	<p>The comments have been acknowledged</p>
LBH Policy Officer	<p>Policy DM18 (Protection of Open Space) includes a clear statement (paragraph A) that 'land identified as open space on the Harrow Policies Map will not be released for development'.</p> <p>The application proposes the demolition of the cowsheds and the replacement of these with a kitchen / living / dining area. The new building will occupy the same footprint as the existing cowsheds, resulting in no loss of 'open space'. In this regard, the</p>	<p>The comments are noted</p>

following points are relevant in the context of the criteria outlined in Policy DM18:

- There is no net loss of open space as a result of the replacement building
- The site is functionally separate from the adjoining Bernays Gardens and in separate ownership. The proposal will not result in any material impact on the configuration and functioning of the adjoining public open space.
- The existing cowsheds have fallen into disrepair, being a historical folly of limited use to the adjoining statutory listed Cowman's Cottage. The replacement building will form an extension to the Cowman's Cottage and assist in its on-going use as a residential property.
- The impact of the proposed building (in terms of scale and character / heritage significance of the site / surroundings) is addressed in detail elsewhere (and also as part of a separate listed building consent) and is considered to be acceptable.
- The proposed use of the new buildings (residential) is not an ancillary use of open space, but does reflect that of the adjoining Cowman's Cottage. The cowsheds, whilst forming part of a broader open space designation covering Bernays Gardens, is functionally and physically separate from them.

Given the above, the proposed demolition and rebuilding of the cowsheds is considered acceptable against Policy DM18; the proposal is not harmful to the broader Bernays Gardens open space designation (paragraph E), nor is the change of use from 'folly' to residential inappropriate given

	the specific site circumstances (paragraph F).	
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5.0 POLICIES

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that:

'If regard is to be had to the Development Plan for the purpose of any determination to be made under the Planning Acts, the determination must be made in accordance with the Plan unless material considerations indicate otherwise.'

5.2 The Government has issued the National Planning Policy Framework [NPPF] which consolidates national planning policy and is a material consideration in the determination of this application.

5.3 In this instance, the Development Plan comprises The London Plan 2016 [LP] and the Local Development Framework [LDF]. The LDF comprises The Harrow Core Strategy 2012 [CS], Harrow and Wealdstone Area Action Plan 2013 [AAP], the Development Management Policies Local Plan 2013 [DMP], the Site Allocations Local Plan [SALP] 2013 and Harrow Local Area Map 2013 [LAP].

6.0 APPRAISAL

6.1 The main issues are:-

- Principle of the Development
- Regeneration
- Character and Appearance of The Old Church Lane Conservation Area, The Setting of the Grade II Listed Cottage and Wall
- Residential Amenity and Accessibility
- Traffic, Parking and Drainage
- Impacts on Trees and Biodiversity

6.2 Principle of Development

6.2.1 Part of the application site is located on land that is identified as Open Space in the Harrow Local Plan Policies Map. Paragraph 73 of the NPPF states that access to high quality open spaces and opportunities for sport and recreation can make an important contribution to human health and well-being and are of environmental value. Local open spaces are play an important role in the health and well-being of the Boroughs residents and can significantly contribute towards the Boroughs biodiversity. Bernays Gardens has an area of approximately 0.3 hectares and is therefore categorised as a small open space within Table 7.2 of the London Plan (2015).

6.2.2 The National Planning Policy Framework (2012) is clear that existing open space should not be built on unless clearly surplus to requirements, or where the loss would be replaced by equivalent or better provision in terms of

quantity and quality, or where the need for and benefits of the development clearly outweigh the loss. The Harrow Core Strategy (2012) establishes a presumption against any net loss of open spaces, and with the exception of small scale ancillary facilities, resists development on open spaces.

- 6.2.3 Policy DM18 of the Harrow Development Management Policies (2013) states:
- A. *Land identified as open space on the Harrow Policies Map will not be released for development.*
 - B. *The reconfiguration of land identified as open space on the Harrow Policies Map will be supported where:*
 - a. *the reconfiguration is part of a comprehensive, deliverable scheme;*
 - b. *there would be no net loss of open space;*
 - c. *the reconfiguration would achieve enhancements to address identified deficiencies in the capacity, quality and accessibility of open space, and it would secure a viable future for the open space; and*
 - d. *the reconfiguration would not be detrimental to any environmental function performed by the existing open space.*
 - C. *Proposals for ancillary development on land identified as open space on the Harrow Policies Map will be supported where*
 - a. *it is necessary to or would facilitate the proper functioning of the open space;*
 - b. *it is ancillary to the use(s) of the open space;*
 - c. *it would be appropriate in scale;*
 - d. *it would not detract from the open character of the site or surroundings; it would not be detrimental to any other function that the open space performs; and;*
 - f. *it would contribute positively to the setting and quality of the open space.*
 - D. *Proposals that would secure the future of existing ancillary buildings on open space will be supported where:*
 - a. *there would be no loss of necessary capacity for the proper functioning of the open space; and*
 - b. *there would be no harm to the quality or proper functioning of the open space as a result of the proposal.*
 - E. *Proposals that would be harmful to open space, having regard to the criteria set out in this policy, will be refused.*
 - F. *Proposals for the inappropriate change of use of open space will be resisted*

6.2.4 The existing Cowsheds are sited within land that is designated as Open Space. While the Cowsheds historically had a function/association with Bernays Gardens, since 2011, they have been in private ownership following the sale of Cowman's Cottage (which included the Cowsheds within the site boundary). The Harrow Core Strategy (2012) establishes a presumption against any net loss of open space, and with the exception of small scale ancillary facilities, resists development on open spaces. Policy DM1 of the Harrow Development Management Policies gives effect to the Core Strategy.

6.2.5 The important contribution of the cowsheds to the heritage and character and appearance of the area is significant, and is further detailed further in section 6.3 of the report. It is considered that the proposed redevelopment would be sympathetic to the existing setting by matching the dimensions of the existing Cowsheds, taking a similar form and design and by incorporating existing

materials where possible. The demolition of the Cowsheds may be perceived to be harmful to the special interest of the Cowman's Cottage and its setting, given the architectural, evidential, historical, aesthetic and group/communal values of the Grade II Listed Cottage and Cowsheds. However, it is considered that the reinstatement of key design elements of the existing Cowsheds (such as the front gables) in addition to the reuse of historic materials, would limit the harm caused, as further detailed in section 6.3 of the report. Furthermore, there would be no net loss of Open Space as a result of the replacement building.

6.2.6 The site is functionally separate from the adjoining Bernays Gardens and is in separate ownership. Therefore, the proposal will not result in any material impact on the configuration and functioning of the adjoining public space. While the proposed new residential use of the extension would not be ancillary to the use of open space, it does reflect that of the adjoining Cowman's Cottage. It is considered that the proposed residential use, in conjunction with its sympathetic design would give the building a purposeful use which would retain its long-term future as a building that contributes to the character and appearance of the Conservation Area. Consequently, officers consider that the proposed demolition and rebuilding of the cowsheds is considered acceptable against Policy DM18; the proposal is not harmful to the broader Bernays Gardens open space designation, nor is the change of use from 'folly' to residential inappropriate given the specific site circumstances. The proposed development would therefore meet the strategic objectives of the NPPF and the development plan in relation to conserving and enhancing the significance of Heritage Assets.

6.2.7 In the previously refused scheme, vehicular and plant access to the site for/during construction was proposed from Bernays Gardens. This arrangement was considered to not be suitable owing to the potential impact on the usability of the park during this time and impact to existing trees/shrubbery. The subject proposal has been amended so that access to the site for construction would be via the existing vehicular access to the south of the Cottage through the arch. It is considered that the alternative access arrangement is satisfactory and the fourth reason has therefore been suitably addressed.

6.3 Regeneration

6.3.1 It is considered that the proposal would provide a benefit for the local area and the wider Borough.

6.3.2 The proposal would protect and enhance the built environment. The harm to the Grade II Listed Building within the Old Church Lane Conservation is outweighed by the benefits of bringing part of the site back into use. It is considered that the changes to this Grade II listed building would be a public benefit which would enhance the significance of the heritage asset and the contribution of its setting. The proposal would be in line with Paragraph 7 of the NPPF.

6.4 Character and Appearance of The Old Church Lane Conservation Area, The Setting of the Grade II Listed Cottage and Wall and the Archaeological Priority Area

6.4.1 Paragraph 131 of the NPPF states 'local planning authorities should take account of: the desirability of sustaining and enhancing the significance of heritage assets and the desirability of new development making a positive contribution to local character and distinctiveness. Paragraph 137 further states that 'local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites and within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably.

6.4.2 The London Plan policy 7.8 D states 'Development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials architectural detail' and Harrow Core Strategy policy CS1 part D which states 'Proposals would harm the significance of heritage assets including their setting will be resisted. The enhancement of heritage assets will be supported and encouraged'. Development Management Policies Local Plan policy DM 7 part B, b states 'the impact of proposals affecting heritage assets will be assessed having regard to: b relevant issues of design, appearance and character, including proportion, scale, height, massing, historic fabric, use, features, location, relationship with adjacent assets, setting, layout, plan form'. DM7 part E which states: 'In addition to (A) (B) above, when considering proposals affecting listed buildings and their setting, the Council a. pay special attention to the building's character and any features of special architectural historic interest which it possesses, and the role of the building's setting in these regards.

6.4.3 The application site relates to the Grade II Listed Cowman's Cottage, its attached single storey link outbuilding (scullery) and the adjoining Cowsheds. These buildings are located to the east of the Grade II Listed Wall fronting Old Church Lane and Church Road. Paragraph 129 of the National Planning Policy Framework (2012) states that 'Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal...taking account of the available evidence and any necessary expertise'. According to the NPPF's definition of 'significance', this is 'the value of the heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic'. The list descriptions have architectural, evidential, historical, aesthetic and group/communal values with their significance concerning their age and origins both the 17th century and the 1930s as part of an inter-war, romanticised Tudorbethan style estate built by Samuel Wallrock.

6.4.4 The architectural significance relates to their being an inter-war vernacular revival buildings rebuilt using traditional materials. There is evidential and archaeological value for the use of the historical materials. The historic significance relates to the association with Bernays Gardens and the Communal value is in the way the cowsheds relate to the public open space of Bernays Gardens. Open views from the public park as it faces onto it has in the past helped allow for its enjoyment as it was intended in views looking west

from the park. This is demonstrable by the number of public consultation responses which refer to the aesthetic value/contribution/relationship of the Cowsheds when viewed from Bernays Gardens.

- 6.4.5 The proposed demolition of the existing cowsheds would be harmful in principle to the special interest of the listed Cowman's Cottage and its setting, given a large part of its significance relates to the presence of the adjoining cowsheds and as the new extension would take the building away from its intended original use. In assessing the acceptability of the proposals, the need to preserve the special significance of the Grade II Listed Cottage and to conserve significance of the other heritage assets and their settings must be balanced against public benefits, having particular regard to national and local planning policy and guidance.
- 6.4.6 In the original scheme that was refused, it was considered that the different elements of the single storey side extension, such as proportions, domestic fenestration, solid infill of the open area beneath the gable ends on the east side, changed location, and the use of replacement materials, would together all detract from the special intended character of the Cowsheds. It was considered that the new build would appear more as a contrived, modern domestic extension to the house, rather than former cowsheds and would be largely concealed from public views, thereby interrupting the intended enjoyment of the cowsheds as a folly from the west.
- 6.4.7 Following the originally refused application and after further engagement with the Council's pre-application service, a number of amendments were made to the scheme, most notably, the resetting of the proposed extension so that it broadly follows the existing footprint of the Cowshed, thereby allowing the space between the Listed Cottage and extension to match the existing (between the Cottage and Cowshed). Additional information was also provided in relation to the re-use of materials and the justification for the increased ridge height.
- 6.4.8 The proposed single storey extension (replacement Cowshed) is based on the dimensions of the existing. In terms of design and appearance, the five gables would be rebuilt, with the spacing and setting out of timber posts between gables, and the configuration of eaves and fascia's to match existing. The maximum ridge height would be increased by 500mm to provide the minimum headroom needed for access. The scullery would be adapted to form a link to allow circulation from within Cowman's Cottage and would be extended to the north by 1.4m to facilitate this. The height, scale, appearance and roof profile of the extended scullery would match the existing.
- 6.4.9 In the previously refused application, the proposed north-western elevation featured large glazed panels which were considered to not preserve the special interest of the listed Cowman's Cottage or its settings by the members. Following this refusal, the detail and appearance of the proposed north-western elevation fronting Bernays Gardens has been amended. The elevation no longer includes a glazed infill beneath the gable ends but more closely replicates the design of the existing façade of solid brick, steel windows and doorsets (original doorsets reused) currently recessed beneath the gable ends with the walkway in front. An impression and memory of the recess would be created by 200mm by 200mm timber posts placed backing onto the brickwork,

to create some shadowing, and spaced to match the existing walkway posts. The steel framed windows would be created to match but would be double glazed. The timber surrounds would be reused or replicated if rotten. For these reasons, it is considered that the proposal would better conserve the special interest of the heritage assets, thereby limiting the harm to the significance of the Listed Cowman's Cottage and addressing the reason for refusals of the preceding application.

- 6.4.10 Following these amendments, Officers consider that the revised scheme is more sympathetic to the existing setting by taking the form, materials and appearance of the existing Cowsheds. The marginal increase in height would not be readily discernible from within Bernays Gardens or when viewed from Old Church Lane or Church Road and would therefore not harm the character or appearance of the Conservation Area and the setting of the Listed Building in this regard. Importantly, the detailed design considerations would ensure that the replacement building would retain the key historic (materials) and design features of the existing Cowshed, and in doing so, would sustain and enhance the significance of the heritage assets by enabling the architectural, evidential, historical, aesthetic and group/communal values of the Grade II Listed Cowman's Cottage and its setting to be conserved.
- 6.4.11 It is evident that the existing Cowsheds are in an extremely dilapidated state, collapsing, propped up and uninhabitable, and have been like this for a number of years. To prevent access to the dangerous structure and further vandalism, a fence has been erected by the Council which protrudes a further 5m than the application site boundary and restricts access to some 100m² of the western part of the Gardens. It is considered that the return of this space into public use would be a further public benefit of the scheme.
- 6.4.12 A Heritage Impact Assessment has been provided with regards to the potential impact of the development on the Grade II Listed Wall. The lowered courtyard would have an approximate area of 30m² and the closest point of this excavation would be at the north-west at a distance of over 3m. The report therefore concludes that at this distance, the excavation will have no: Impact on the existing wall or its foundations. Consequently, it is considered that the lowering of the courtyard would not undermine or adversely affect the Listed Wall.
- 6.4.13 With regard to boundary treatments, the eastern boundary would be delineated by 1.8m high self-raking vertical bar railings. This would be sited some 800mm from the eastern elevation of the extension at its closest point and 1.15m at its furthest point. The hedging that was proposed in the previously refused scheme has been omitted thereby enabling public views through to the proposed extension from Bernays Park. It is considered that the proposed boundary treatment would provide 'defensible space' and would be necessary to increase the perception of safety for the host occupiers and to reduce the risk of crime, particularly given that the Bernays Gardens is open all night. Timber fencing is proposed along the northern and eastern boundaries. Officers consider that the boundary treatment proposed would preserve the special interest of the Listed Cowman's Cottage and its settings.

6.4.14 Public benefits of the scheme therefore need to be weighed against the harm again in accordance with paragraphs 134, and 135 of the NPPF (2012). If the harm was considered substantial, then paragraph 133 is relevant which states: 'Where a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss'. Positively, Officers consider that proposal would see substantial public benefits to outweigh the harm regardless of whether the harm was considered substantial or less than substantial. This is because the proposal would replace the existing dilapidated locally listed cowsheds with a new building that would have a sympathetic design and form to the existing cowsheds, retaining key design features and utilising the historic materials where possible. Therefore, although it would not necessarily be a replica of the original existing Cowshed, it would certainly echo what was previously there, and in this regard, would preserve the special interest of the setting of the Grade II Listed Cottage and other heritage assets by maintaining their key architectural, evidential, historical, aesthetic and group/communal values of the Grade II Listed Cottage and the existing Cowsheds.

6.4.15 Section 12 of The National Planning Policy Framework (2012) and Policy 7.8 of the London Plan (2016) emphasise that the conservation of archaeological interest is a material consideration in the planning process. Paragraph 141 of the NPPF states that applicants should be required to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) and to make this evidence publicly available. In the previously refused scheme, a written scheme of investigation was provided for Historic Building Recording and an Archaeological Watching Brief. This was considered to be acceptable by the Historic England Archaeological Advisor. Conditions are therefore included to ensure that the development is undertaken in accordance with the approved documents.

6.5 Residential Amenity

6.5.1 The nearest residential property is Church House Cottage, which is attached to the subject dwellinghouse to the southeast. The proposed extensions would therefore be screened from the attached residential unit by virtue of the existing built form. Consequently, it is considered that the proposed development would not have an adverse impact upon the residential amenities of the neighbouring occupiers by means of overshadowing, loss of light or loss of outlook.

6.6 Traffic and Parking

6.6.1 It is also proposed to alter the existing car parking arrangement. At present, there is an existing off-street parking bay inside the courtyard to the south of the Listed Cottage. It is proposed to alter the fencing which will allow the car to be parked to the east of the Cottage as demonstrated in drawing 212/10 Rev H. It is considered that the proposed parking arrangement would comply with the London Plan requirements and would not have an adverse impact upon the functioning of the surrounding highways network.

6.7 Impact on Trees and Biodiversity

- 6.7.1 Policy 7.21B of The London Plan (2015) states that “Existing trees of value should be retained”. Policy DM 22 of the Development Management Policies Local Plan states that “The removal of trees subject to TPOs or assessed as being of significant amenity value will only be considered acceptable where it can be demonstrated that the loss of the tree(s) is outweighed by the wider public benefits of the proposal.”
- 6.7.2 Trees make a substantive positive contribution to the character of Harrow and a significant component of the Borough’s natural environment. Part of the application site adjoins Bernays Gardens which is a public park and designated as Open Space within the Harrow Policies Map.
- 6.7.3 An Arboricultural Report/Tree Survey has been submitted with the application. The report states that Trees T1, T2, T3, T5, T8 and T12 (third party) and T9 and T10 (Cowman’s Cottage) will be retained and there will be no loss of amenity connected with these trees. The Councils Arboricultural Officer is satisfied with the findings within the report and subject to safeguarding conditions, it is considered that the proposal would comply with Policy 7.21 of the London Plan (2016) and Policy DM22 of the Harrow Development Management Policies Local Plan (2013).

7.0 CONCLUSION AND REASONS FOR APPROVAL

- 7.1 The proposed development would replace the existing dilapidated Cowsheds with a single storey extension that would be sympathetic in form, scale, design, appearance to the existing Cowsheds and would utilise the existing historic materials where possible. In doing so, officers consider that the single storey extension would preserve the special interest of the setting of the Grade II Listed Cottage and other heritage assets by maintaining the key architectural, evidential, historical, aesthetic and group/communal values. While the replacement building would have a domestic use, Officers consider that this would give the building a purposeful use that would retain its long-term future and the proposed development would also release existing Public Open Space that is not currently accessible. Officers therefore consider that, the public benefits of the scheme outweigh the harm and the proposal would be consistent with the character and appearance of the Conservation Area and would preserve the special interest of the Listed Building and its setting.

APPENDIX 1: CONDITIONS AND INFORMATIVES

Conditions

1 Timing

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.

2 Approved Plans and documents

The development hereby permitted shall be carried out in accordance with the following approved plans and documents: Site Block Plan, 212/00, 212/08 Rev F, 212/09 Rev E, 212/10 Rev K, 212/15 Rev H, 212_16 Rev C, 212/17 Rev E, 212/18 Rev D, 212_20 Rev C, 212_21 Rev D, 212_22 Rev C, 212_23 Rev D, 212/24 Rev B, 212/26 Rev C, 212/27 Rev F, 212_28 Rev C, 212/30 Rev A, 212/31 Rev B, 212_34 Rev B, 212_35 Rev A, 212_36 Rev A, 212/37, Elevations Sheet 1 (March 2015), Elevations Sheet 2 (March 2015), Ground Floor Revision 1 (March 2015), Roof Plan (March 2015), Cross Sections (March 2015), Design and Access and Heritage Statement Rev C (dated 6th October 2016), Proposals to reduce the impact of the increase in roof height (dated 7th September 2016), Arboricultural Report (dated 8th June 2016), Arboricultural Method Statement for Tree Protection (dated 8th June 2016), Construction Method Statement (dated 12th September 2016), Construction Phase Health and Safety Plan, Historic Building Report and Condition Survey, Heritage Impact Assessment, Method Statement (dated May 2016), Written Scheme of Investigation for Archaeological Watching Brief at Cowman's Cottage (dated August 2016), Written Scheme of Investigation for Heritage Building Recording (dated August 2016), Safe Systems of Work (Brickwork – Masonry) dated 8 March 2015, Safe Systems of Work (Walls and Portioning) dated 12 March 2016, Safe Systems of Work (Plastering/Rendering) dated 13 March 2015, Safe Systems of Work (Delivery of materials to site, removal of waste and spoil) dated 15 May 2016, Safe Systems of Work (demolition work of roof) dated 23 May 2016, Safe Systems of Work (excavation of courtyard) dated 23 May 2016

REASON: For the avoidance of doubt and in the interests of proper planning.

3 Materials 1

Samples of all external materials shall be provided to, and approved in writing by, the Local Planning Authority prior to the commencement of the relevant aspect of these works. The development shall be built in accordance with details approved pursuant to this condition.

REASON: To preserve the special interest and setting of the listed building, the locally listed building, the character of the conservation area and the locally listed park and garden, in accordance with The National Planning Policy Framework (2012), Policy 7.8 of the London Plan (2016) Policy CS1.D of the Harrow Core Strategy (2012) and Policy DM7 of the Harrow Development

4 Materials 2

Following the demolition of the cowsheds, the resultant materials shall be made available on site for inspection along with a report outlining the extent of materials to be reused in the construction of the development hereby permitted.

REASON: To ensure as much reuse of historic fabric as possible in order to preserve the special interest and setting of the listed building, the locally listed building, the character of the conservation area and the locally listed park and garden, in accordance with The National Planning Policy Framework (2012), Policy 7.8 of the London Plan (2016) Policy CS1.D of the Harrow Core Strategy (2012) and Policy DM7 of the Harrow Development Management Policies (2013)

5 Archaeology 1

The development hereby permitted shall be carried out in accordance with the approved Written Scheme of Investigation for Historic Building Recording (dated September 2016).

REASON: To ensure a permanent record of the cowsheds and other elements of the listed building to be removed and to preserve special interest of the listed building in accordance with The National Planning Policy Framework (2012), Policy 7.8 of the London Plan (2016) Policy CS1.D of the Harrow Core Strategy (2012) and Policy DM7 of the Harrow Development Management Policies (2013)

6 Archaeology 2

The development hereby permitted shall be carried out in accordance with the approved Written Scheme of Investigation for Archaeological Watching Brief at Cowman's Cottage (dated August 2016).

REASON: To ensure that an appropriate scheme of archaeological investigation and recording is undertaken in accordance with The National Planning Policy Framework (2012), Policy 7.8 of the London Plan (2016) Policy CS1.D of the Harrow Core Strategy (2012) and Policy DM7 of the Harrow Development Management Policies (2013).

7 Listed Building

All features proposed to be relocated (including the gates, wall, windows) as part of these proposals, shall be placed and fixed in their respective proposed locations, in accordance with the details hereby approved, within 3 months of the commencement of these works. These features shall thereafter be retained.

REASON: To preserve the special interest of the listed building in accordance with The National Planning Policy Framework (2012), Policy 7.8 of the London Plan (2016) Policy CS1.D of the Harrow Core Strategy (2012) and Policy DM7 of the Harrow Development Management Policies (2013).

8 Trees 1

Prior to the commencement of the development and before any materials or machinery are brought on to the site, in accordance with the Submitted Arboricultural Method Statement (dated 8th June 2016), Protective Fencing is to be installed around the Construction Exclusion Zone. Barriers may not be moved and must remain in Place for the duration of works. No Materials, Vehicles or plant is to be stored within the Root Protection Areas of retained Trees.

REASON: The existing trees represent an important amenity feature which the Local Planning Authority considers should be protected, as required by policy DM22 of the Harrow Development Management Policies Local Plan (2013).

9 Trees 2

An Appointed Arboriculturist shall inspect the site at the start of works and monitor throughout. The Following is required to be carried out under Arboricultural supervision.

- Installation of Tree Protection Fencing
- Removal of existing hardstanding within Root Protection Area
- Installation of ground protection
- Any other works within the Root Protection Area of retained trees

REASON: The existing trees represent an important amenity feature which the Local Planning Authority considers should be protected, as required by policy DM22 of the Harrow Development Management Policies Local Plan (2013).

10 Construction

The development hereby permitted shall be carried out in accordance with the submitted Construction Method Statement (dated September 2016).

REASON: To preserve the special interest of the Listed Wall, Cowman's cottage and Church House Cottage, in accordance with The National Planning Policy Framework (2012), Policy 7.8 of the London Plan (2016) Policy CS1.D of the Harrow Core Strategy (2012) and Policy DM7 of the Harrow Development Management Policies (2013)

- 11 Notwithstanding the details shown on the approved plans and supporting documents, the development hereby permitted shall not commence until a detailed Construction Logistics Statement has been submitted to, and approved in writing, by the local planning authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:
- i. the parking of vehicles of site operatives and visitors
 - ii. loading and unloading of plant and materials

REASON: To ensure that the construction of the development does not unduly impact on the functioning of the highway network and the residential amenities of neighbouring occupiers, in accordance with policies 6.11, 7.6 and 7.15 of The London Plan (2016) and policies DM1 and DM44 of the Harrow Development Management Policies Local Plan (2013).

Informatives

1 Policies

The following policies are relevant to this decision:

The National Planning Policy Framework (2012)

The London Plan (2015):

6.13, 7.4, 7.6, 7.8, 7.18, 7.21,

The Harrow Core Strategy (2012):

CS1

Harrow Development Management Policies Local Plan (2013):

DM1, DM7, DM18, DM21, DM42

Supplementary Planning Documents:

Residential Design Guide SPD (2011)

Old Church Lane Conservation Area Appraisal and Management Strategy SPD (2013)

2 Pre-application engagement

Statement under Article 31 (1)(cc) of The Town and Country Planning (Development Management Procedure) (England) Order 2010 (as amended).

This decision has been taken in accordance with paragraphs 187-189 of The National Planning Policy Framework. Pre-application advice was sought and provided and the submitted application was in accordance with that advice.

3 Considerate Contractor Code of Practice

The applicant's attention is drawn to the requirements in the attached Considerate Contractor Code of Practice, in the interests of minimising any adverse effects arising from building operations, and in particular the limitations on hours of working.

4 Party Wall Act

The Party Wall etc. Act 1996 requires a building owner to notify and obtain formal agreement from adjoining owner(s) where the building owner intends to carry out building work which involves:

1. work on an existing wall shared with another property;
2. building on the boundary with a neighbouring property;
3. excavating near a neighbouring building, and that work falls within the scope of the Act.

Procedures under this Act are quite separate from the need for planning permission or building regulations approval.

"The Party Wall etc. Act 1996: Explanatory booklet" is available free of charge from:

Communities and Local Government Publications, PO Box 236, Wetherby, LS23 7NB

Please quote **Product code:** 02 BR 00862 when ordering

Also available for download from the CLG website:

<http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Tel: 0870 1226 236 Fax: 0870 1226 237

Textphone: 0870 1207 405

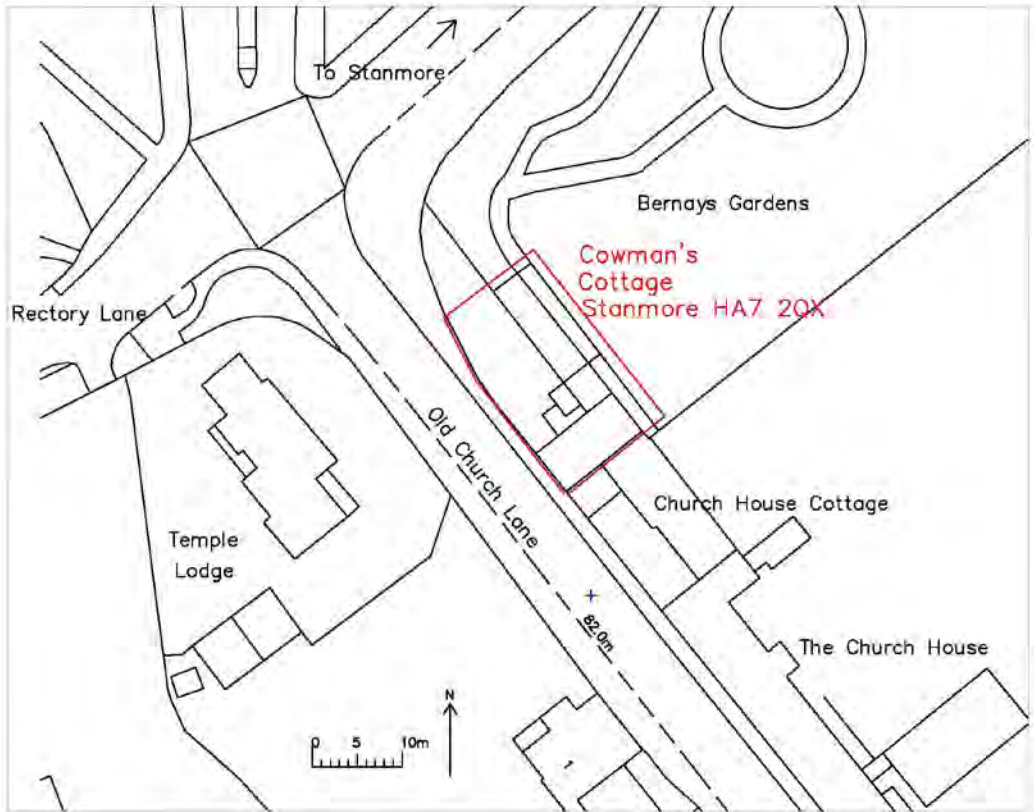
E-mail: communities@twoten.com


5 Compliance with Planning Conditions

Compliance With Planning Conditions Requiring Submission and Approval of Details Before Development Commences

- You will be in breach of planning permission if you start development without complying with a condition requiring you to do something before you start. For example, that a scheme or details of the development must first be approved by the Local Planning Authority.
- Carrying out works in breach of such a condition will not satisfy the requirement to commence the development within the time permitted.
- Beginning development in breach of a planning condition will invalidate your planning permission.
- If you require confirmation as to whether the works you have carried out are acceptable, then you should apply to the Local Planning Authority for a certificate of lawfulness

APPENDIX 2: SITE PLAN



	<p>Kennedy O' Callaghan Architects 70 Cowcross Street London EC1M 6EJ Tel 020 7263 8600 info@kocarchitects.com</p> <p>Project title Cowmans Cottage, Stanmore Drawing title Location Plan Number 212/00 Date Dec 2015 Scale 1:500@A3 Rev -</p>	
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APPENDIX 3: SITE PHOTOGRAPHS



EXISTING COTTAGE FROM OLD CHURCH LANE



VIEW TOWARDS COTTAGE AND LISTED WALL



FLANK ELEVATION OF COTTAGE FROM RAISED PATIO



VIEW TOWARDS NORTH OF SITE



EXISTING COWSHED VIEWED FROM WITHIN PATIO AREA



COTTAGE WHEN VIEWED FROM BERNAYS GARDENS AND PROPOSED CAR PARK BAY



COWHSEDS



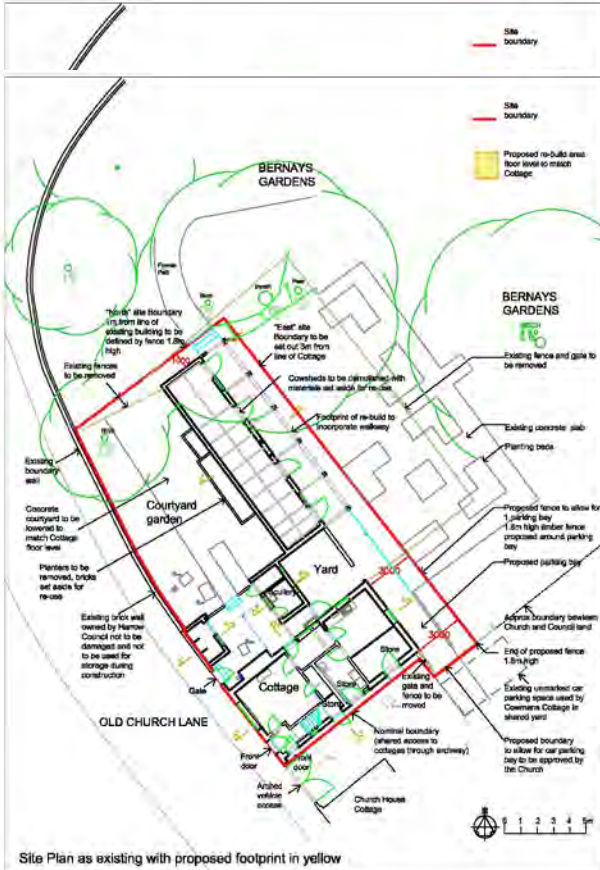
COWSHEDS WHEN VIEWED FROM BERNAYS GARDENS



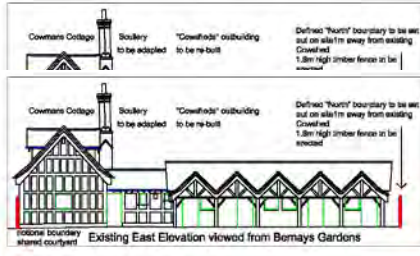
COWSHEDS WHEN VIEWED FROM BERNAYS GARDENS



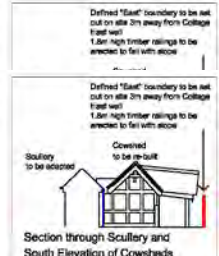
APPENDIX 4: PLANS AND ELEVATIONS



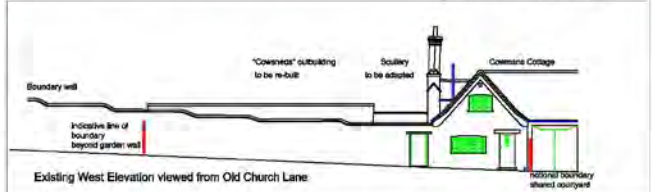
Site Plan as existing with proposed footprint in yellow



Existing East Elevation viewed from Bernays Gardens



Section through Scullery and South Elevation of Cowshed



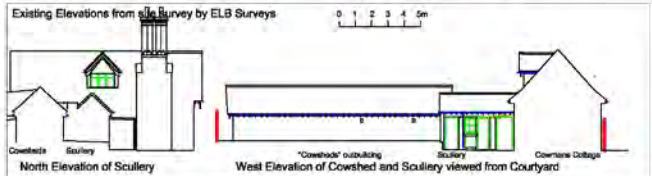
Existing West Elevation viewed from Old Church Lane



Existing North Elevation of Cottage

South Elevation of Cottage from archway

Elevation of outbuilding looking West

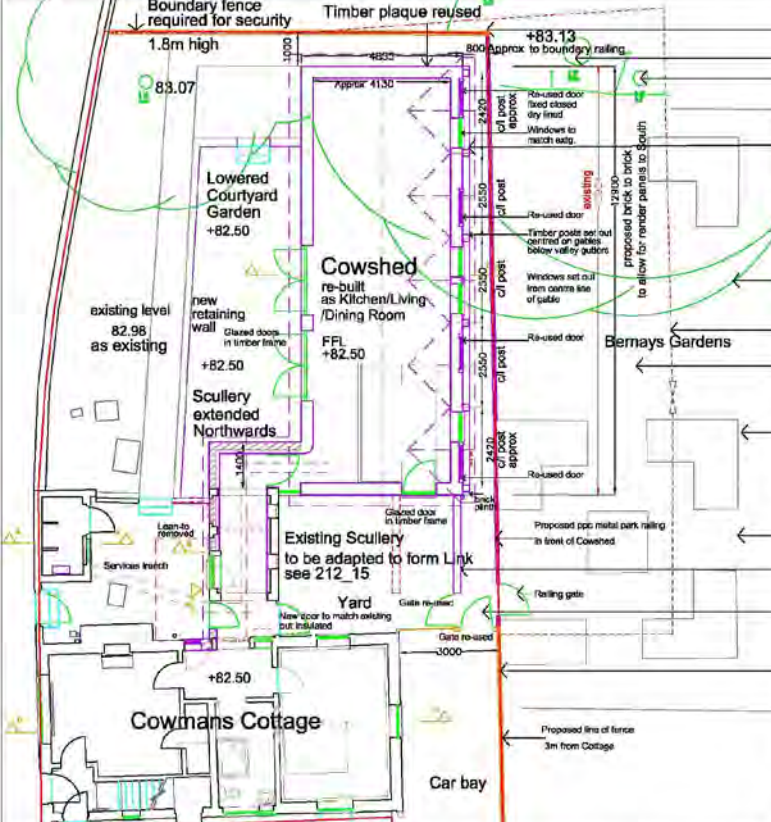


North Elevation of Scullery

West Elevation of Cowshed and Scullery viewed from Courtyard

Notes & Revisions
 First issue: 06/05/2015 Formatted.
 Rev A 20/05/15: Fence dimensions added, issue to Planning for pre-appro.
 Rev A 14/05/15: Fence amended to 3m from Cottage, Rev E 01/12/15: Proposed footprint updated, notes added for Planning and LBC application, Rev C 11/11/15: Title amended from Plan to Site Plan, each drawing title updated with orientation added, Rev D boundary added for section.
 Rev E: 22/01/16 Notes updated for amended LBC application for Cottage.
 Rev F: 15/01/16 Plan and sections updated, proposed footprint removed as this is now the same as the existing Cowshed footprint. Boundary fence notes updated. Compound notes updated. These that have been removed as separate application have been omitted from amending drawing.

Kennedy O' Callaghan Architects
 70 Cowcross Street London EC1M 6EU Tel: 020 7253 8600 info@kcoarchitects.com
 Project title: Cowmans Cottage, Stanmore
 Drawing title: Existing Site Plan and Elevations
 Number: 212/08 Date: May 2015 Scale: 1:200@A3 Rev: F



Site boundary set out 3m from cottage wall
 Existing Beech tree protected
 Existing pear tree protected
 Proposed New-build on existing Cowshed footprint
 Kitchen-dining-living approx 50m²
 Timber posts to match existing
 Facade reconstructed to match existing
 Trees within 5m of construction to be protected (no work to trees)
 Refer to CSG Ushers Tree Report
 Existing fence (not on site boundary) to be removed
 Existing area enclosed by fencing to return to Bernays Gardens up to site boundary railing
 Existing beds opportunity for reinstatement of planting by Harrow Council or community scheme
 Existing hardstanding
 Wall and gate re-built currently on line of Cottage
 New timber fence and re-used gate from Scullery
 New timber fence 1.8m high for security / screen for parking bay
 See drawing 212/15 for details of yard and Scullery Link

The north end of the building is below ground level and will need tanking in conjunction with the engineering proposals. Tree root protection must be observed and scaffold / foundations must not damage tree roots. Surface water and underground drainage to be adapted from existing to suit chutes from gable valleys.

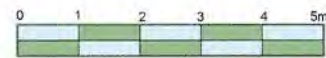
KEY
 Proposed
 Proposed fence
 Boundary
 Demolish
 Step
 Doors & windows

Notes & Revisions
 First issue: 06/05/2015 Formatted as Option 5. Rev A 20/05/2015: Notes added, issue to Planning for pre-appro. Rev E 21/11/2015: Amendments following pre-appro meeting and tree consultant feedback. Length reduced to 4.5m instead of 5.5. Sash window removed. Link updated to retain single window. Notes updated. Rev C 19/10/2015: Recently used plan to 5 poles facing East. Internal window retained following pre-appro. Internal layout updated to suit client requirements. Rev D 01/12/2015: Reformatting, fence Option 5 as proposed. Cowshed and Cottage plan and notes updated for planning. LBC Rev E 11/01/16: Reformatting. Proposed Site Plan with Re-built Cowshed as Kitchen/Dining/Living Room. Rev F 08/01/16: Plan reduced in length and moved northwards. Scullery to be rebuilt and extended northwards to form link. Note added re no impact on wall, work to trees omitted, drainage extended to yard area, notes and dimensions corrected. Rev G 09/01/16: Plan of Scullery updated following review with Planning team 09/01/16. Scullery to be retained & adapted to form Link and car bay. Overlap of Scullery reduced to 1600 by amending the internal door. Rev H 13/01/16: Notes and Cowshed East wall updated. Rev I 10/01/16: Note re scullery updated Rev J 19/02/16: Notes for consultation and revision added.
 Rev K 01/02/16: East elevation no longer to replicate the existing elevation, with timber posts set in front of brick wall.

Kennedy O' Callaghan Architects
 70 Cowcross Street London EC1M 6EU Tel: 020 7253 8600 info@kcoarchitects.com
 Project title: Cowmans Cottage, Stanmore
 Drawing title: Proposed Site Plan with Re-built Cowshed as Kitchen Dining Living Room
 Number: 212/10 Date: May 2015 Scale: 1:100@A3 Rev: K



East elevation proposed with gables raised to match pre-existing conjecture prior to subsidence
 Railings removed for clarity Refer to 212_21

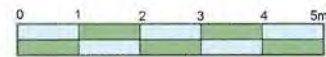


06/05/16 Formatted for Planning Committee
 Rev A 06/10/16 Facade redesigned to match existing and notes added

Kennedy O'Callaghan Architects
 70 Cowcross Street, London EC1M 6EJ Tel: 020 7253 6600 info@kocarchitects.com
 Project title: Cowmans Cottage
 Drawing title: East Elevation Proposed without railings and trees
 Number: 212_36 Date: September '15 Scale: 1:50@A3 Rev: A



East elevation proposed with gables raised to match pre-existing conjecture prior to subsidence



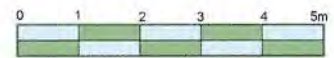
21/12/15 Formatted for client consultation
 Rev A 23/12/2015 Notes added for Planning application
 Rev B 13/05/2016 Revised for new application. Cowshed to be rebuilt on existing footprint. East facade glazed with timber posts on line of existing walkway posts. North boundary fence for security. East railings extended to Yard area and garden wall re-built. Scullery extended northwards by 1.4m. Side extension omitted. West facade: 1 french window omitted.
 Rev C 08/09/16 gables raised to match pre-existing conjecture prior to subsidence
 Rev D 06/10/16 facade redesigned to match existing

Kennedy O'Callaghan Architects
 70 Cowcross Street, London EC1M 6EJ Tel: 020 7253 6600 info@kocarchitects.com
 Project title: Cowmans Cottage
 Drawing title: East Elevation Proposed (without trees)
 Number: 212_21 Date: December '15 Scale: 1:50@A3 Rev: D





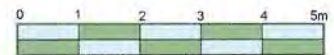
North Elevation Proposed



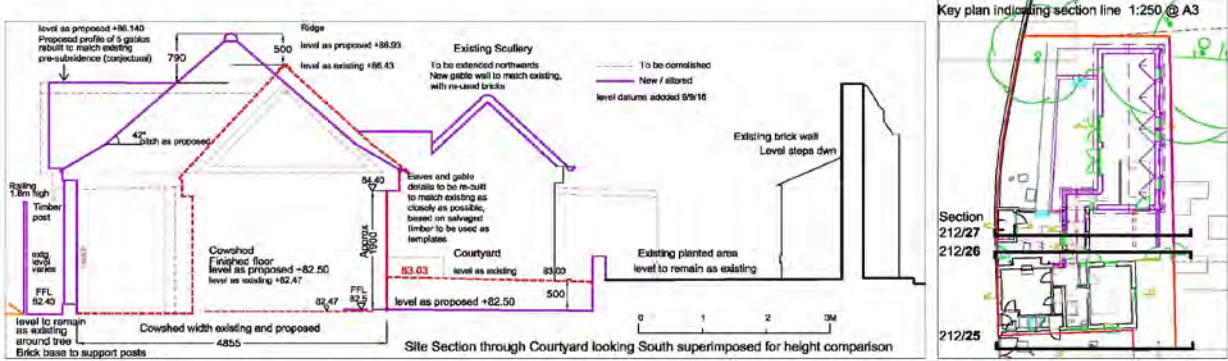
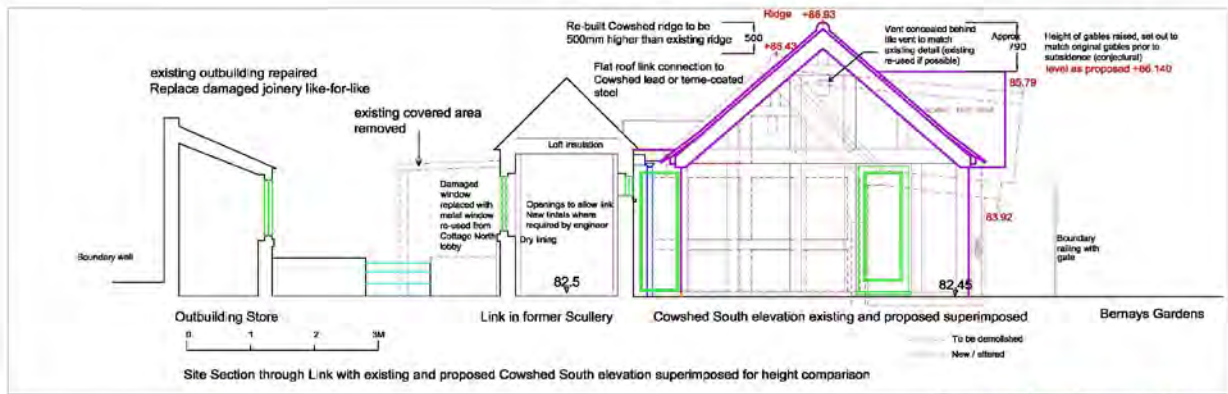
<p>Revisions: 21/12/15 Formatted for client consultation Rev A 23/12/2015 Notes added for Planning application Rev B 13/6/2016 Revised for new application. Cowshed to be rebuilt on existing footprint. East facade glazed with timber posts on line of existing walkway posts. North boundary fence for security. East railings extended to Yard area and garden wall re-built. Scullery extended northwards by 1.4m. Side extension omitted. West facade 1 french window omitted. Rev C Gable height raised to match conjectural as-existing prior to subsidence</p>	<p>Kennedy O'Callaghan Architects 70 Cowcross Street, London EC1M 6EJ Tel: 020 7253 6600 info@kocarchitects.com</p> <p>Project title: Cowmans Cottage Drawing title: North Elevation Proposed Number: 212_22 Date: December '15 Scale: 1:50@A3 Rev: C</p>	
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West elevation as proposed



<p>21/12/15 Formatted for client consultation Rev A 23/12/2015 Notes added for Planning application Rev B 13/6/2016 Revised for new application. Cowshed to be rebuilt on existing footprint. East facade glazed with timber posts on line of existing walkway posts. North boundary fence for security. East railings extended to Yard area and garden wall re-built. Scullery extended northwards by 1.4m. Side extension omitted. West facade 1 french window omitted. Rev C 29/07/16 Cladding to south facade updated Rev D 05/10/16 Gable height raised to match the level of the conjectural original gables prior to subsidence</p>	<p>Kennedy O'Callaghan Architects 70 Cowcross Street, London EC1M 6EJ Tel: 020 7253 6600 info@kocarchitects.com</p> <p>Project title: Cowmans Cottage Drawing title: South Elevation Proposed Number: 212_23 Date: December '15 Scale: 1:50@A3 Rev: D</p>	
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Notes & Revisions
 Rev B 13/09/2016 Revised for new application. Cowshed to be rebuilt on existing footprint. East facade glazed with timber posts on line of existing walkway posts. North boundary fence for security. East railings extended to Yard area and garden wall re-built. Scullery extended northwards by 1.4m. Side extension omitted. West facade 1 french window omitted.
 29/07/16 Drawing number changed from 212_24 to 212_34

For notes on repairs refer to drawing 212_24

Kennedy O'Callaghan Architects
 70 Cowcross Street, London EC1M 6EJ Tel: 020 7253 6600 info@kocarchitects.com
 Project title: Cowmans Cottage, Stanmore
 Drawing title: Site Section through Link and South elevation of Cowshed existing & proposed superimposed for height comparison
 Number: 212/27 Date: Nov 2015 Scale: 1:50@A3 Rev: F



View from west proposed



View from west existing

21/12/15 Rev - Compiled for planning application
 Rev B 13/09/2016 Revised for new application. Cowshed to be rebuilt on existing footprint. East facade glazed with timber posts on line of existing walkway posts. North boundary fence for security. East railings extended to Yard area and garden wall re-built. Scullery extended northwards by 1.4m. Side extension omitted. West facade 1 french window omitted.
 29/07/16 Drawing number changed from 212_24 to 212_34

Kennedy O'Callaghan Architects
 70 Cowcross Street, London EC1M 6EJ Tel: 020 7253 6600 info@kocarchitects.com
 Project title: Cowmans Cottage
 Drawing title: Existing and proposed views from West
 Number: 212_34 Date: August '15 Scale: NTS Rev: B



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